

A stylized, black, calligraphic logo consisting of two overlapping 'R' characters. The first 'R' is on the left and the second is on the right, with their stems overlapping. The logo is centered on a gold-colored rectangular plaque with a thin black border and decorative corner pieces.

RIGI RESIDENCE

APARTMENT 14 C



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VIEW



LIVING ROOM



TERRACE



KITCHEN



LIBRARY



MASTER BATH



MASTER BEDROOM



BEDROOM II



GARDEN



FITNESS



BILLARD



SAUNA



OUTDOOR POOL

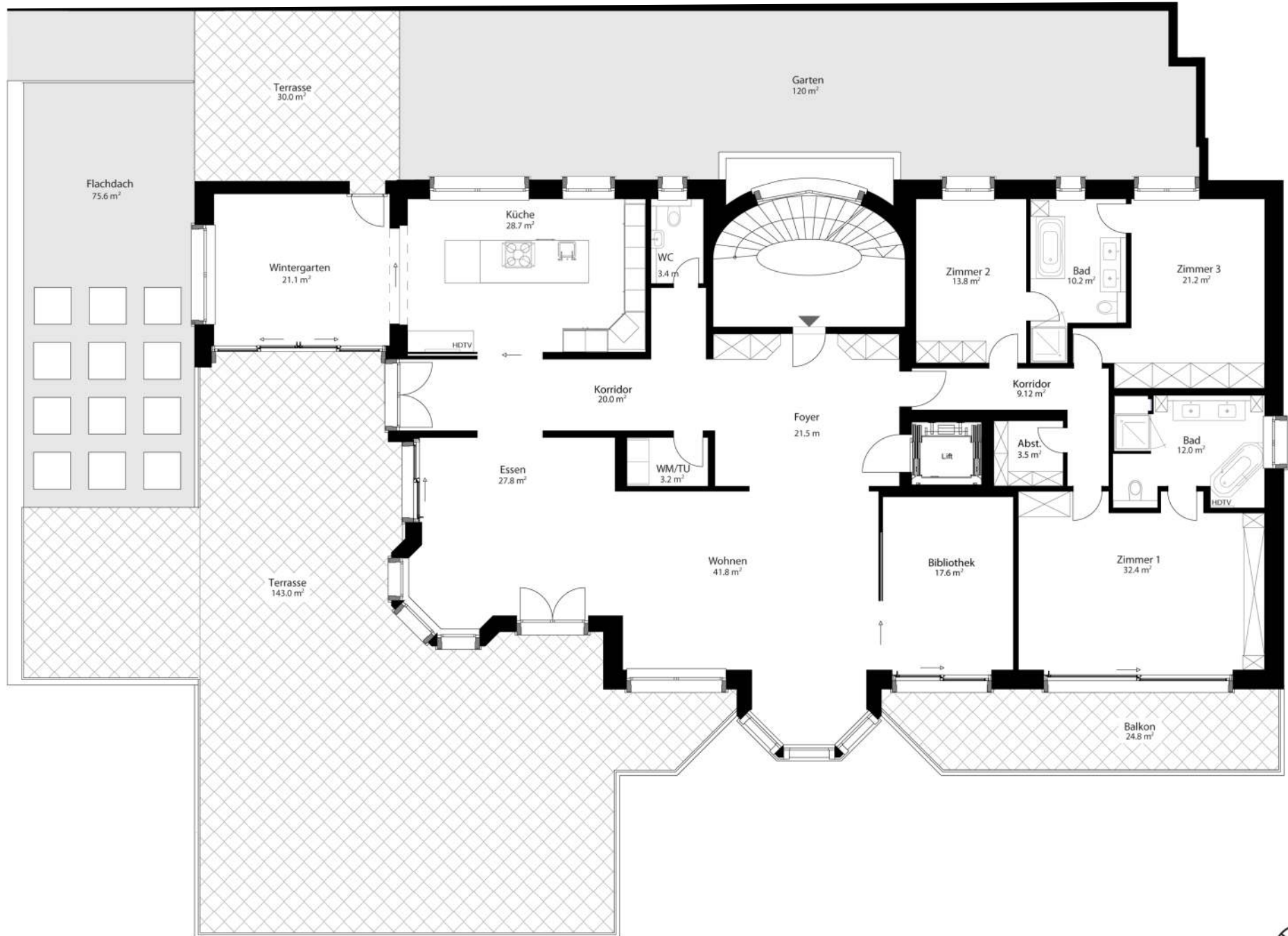


POOLHOUSE



INDOOR POOL







House Rules

1) To ensure optimal comfort for all tenants mutual consideration is expected.

Tenants should refrain from activities that disturb co-tenants. From 22.00 pm to 07.00 am special consideration should be paid to the night rest of all tenants.

Radio and TV as well as music instruments should be played at room volume.

2) Smoking

Smoking is prohibited in the Rigi Residence buildings except within the apartments themselves.

Tenants who smoke are obliged to have their apartment repainted with two coats when they leave or when there is a change in occupancy. This obligation exists independent of the rental period.

3) Animals

Animals are only allowed with the written permission of the owner/landlord

4) Security

The security system consists of 3 entry barriers:

- 1) Access to the site (by remote control, code or key)
- 2) Access to the buildings (by intercom, code or key)
- 3) Access to the apartment (by code or key)

The tenants receive both keys and codes in respect of their apartment.

The codes have the same function as keys and should be kept confidential.

Giving the code to a third party means giving that person unlimited access.

The codes can only be changed/reprogrammed by the site manager.

Site, apartment and cellar doors are to be kept closed at all times.

In case of burglary or theft the owner/landlord assumes no liability.

5) Door bells and name plates

To ensure a uniform appearance door and name plates must be ordered from the site manager.

6) Trolleys

Separate luggage trolleys are available for each house. Immediately after their use the trolleys should be returned to their position in the garage.

Trolleys are not toys and damage to door frames and elevators is to be avoided.

7) Elevators (4 x)

Parents must accompany small children in the elevators and are responsible for any injuries that may be suffered by children using elevators.

The use of the elevators is prohibited in case of smoke or fire.

8) Internet and multimedia connections

All apartments are fitted with wireless and wired broadband internet networks and all rooms have multimedia connections.

Broadband internet and several thousand radio and TV signals of 4 satellites (ASTRA 1 and 2, Hotbird and Eurobird) are provided free of charge, apart from the BILLAG and Suisa fees.

Tenants should make their own arrangements with cable and telecom providers of their choice for additional services.

The programming of internet and TV house system must be done by ITmatik AG or Radio/TV Bürkli.

9) WLAN

In the common areas WLAN is available at no cost to the tenants. The use requires

a password. The use of the WLAN in the common areas may be monitored.

The internet users are responsible for any illegal use of their passwords and the internet.

10) Pools

2 Pools are available for the use by the tenants free of charge. Both pools are about 150 cm deep but have different depths at the stairs and sides.

It is not allowed to dive or jump into the pools from the pool sides.

Tenants are asked to use plastic containers or cups near the pools.

Tenants using the indoor pool are required to render due consideration to the tenants in the adjacent apartments and to refrain from shouting or playing loud music.

11) Wellness: Pools, sauna and fitness

The use of the pools, the sauna and the fitness area is solely at own risk and any liability by the owner/landlord is excluded. The respective facilities can be used between 06.00 am and 22.00 pm.

Children under the age of 12 may only use the pools and contra-jet, the sauna and the fitness equipment as long as they are supervised by adults.

Parents are responsible for any accidents and injuries which the children may cause or suffer by using the pools, the sauna or the fitness equipment.

Those not used to physical exercise and cardio patients are recommended to consult their doctor prior to the first time use.

12) Sauna

The use of the sauna requires entering the users name in the Sauna list.

Reservations are possible 24 hours before use for periods of 2 hours per apartment.

The users should bring their own towels and leave the sauna in the same clean condition as they have found it.

13) Technogym fitness equipment

The fitness area must only be entered with clean and dry sneakers.

After its use the equipment should be turned off and left clean for subsequent users.

14) Sun beds, shades and mattresses

Sun beds and fitness equipment may not be reserved. The tenants are requested to bring their own towels and cover the mattresses before use.

In the summer season each apartment has the right to use 2 sun beds and one shade at the outdoor pool. In case of unused beds and sun shades the remaining tenants may use these.

Should rain or stormy winds be expected the tenants are required to store their mattresses in the pool house and to lower the sun shades.

15) Pool house

The pool house is closed during winter.

16) Childrens' playground and lawn.

Please follow the instructions of the site manager when using the playground or lawns.

17) Hot water taps (www.quooker.de)

In addition to a steamer, various ovens, a food centre, fridges and freezers each kitchen is equipped with a Quooker, i.e. an instant boiling water tap with double piped and child secure press lock. The Quooker replaces a water kettle.

As the water flows in drops the injury risk is limited. Nevertheless the Quooker should only be used with due care and any liability by the owner/landlord is excluded.

The Quooker can be switched off permanently by pulling the boiler plug.

18) Balconies and terraces

No towels or washing items may be hung or fixed on the railings. No items may be fixed against the outside walls of the buildings or on the railings unless with permission of the owner/landlord.

The watering and maintenance of plants/private garden in the rented areas are the responsibility of the tenant.

Barbequing is only allowed using gas barbeques and when it does not disturb other tenants.

19) Awning

The awnings are no bad weather protection. The law on building insurance defines that damage to awnings is not covered in cases where these could be

anticipated or avoided by timely measures. Awnings should be pulled in during night time, during rain or snow falls, stormy winds and holiday absence.

20) Store rooms, garage and cars

The airing of the garage takes place automatically with constant CO2 and NO measuring. In case of CO2 or NO alarm the garage should be left immediately.

Each apartment has in the garage its own ventilated store room for bicycles, winter tyres, sports gear etc.

The garage is to be used solely to park cars and motor bicycles. Bicycles belong in the store rooms. It is prohibited to wash or to repair cars in the garage.

Children are not allowed to use the garage, hallways and stair ways as playgrounds.

In the garage and entrance court motor vehicles must only be driven at walking speed. Flashlights indicate that other traffic is approaching and special care should be taken. No parking is allowed in the entrance court.

The 5 parking places in front of the compound are for visitors' use only.

No personal items may be stored on the stairs, in the hallways, in the common areas and common gardens of Rigi Residence. Emergency exits must remain clear at all times.

21) Garbage disposal and recycling

The local rules in respect of garbage disposal are to be adhered to. (Recycling system) The remaining garbage should be placed in the official red garbage bags and disposed off in the container house adjacent to the entrance court.

It is not permitted to store easily inflammable, explosive or odorous materials in the apartments, the cellars, the garage or store rooms.

22) Skidding and slipping risk

The owner/landlord excludes any liability for accidents due to slippery surfaces.

In case of snow, ice, rain or when using wet shoes slippery conditions may exist and tenants are requested to proceed carefully. In these conditions tenants are recommended to use the elevators to reach the garage.

23) Deco in common areas

The hyperphotos by Jean Francois Rauzier are originals from limited editions and may not be touched. Minor scratches and damages can not be corrected and may render the pictures valueless. Damages will be reclaimed from the person causing the same.

24) Electrical and technical installations and settings

It is prohibited to change electrical and technical installations without permission of the owner/landlord. The programming and setting of the installations can only be done by the site manager or owner/landlord.

25) Repairs/malfunctioning

Damages and malfunctioning of the installations are to be reported to the site manager in order to have them remedied as soon as possible.

26) Emergency Services

Public emergency services can be reached by dialling the following telephone numbers:

Police	117
Fire brigade	118
Ambulance	144

27) Access

It may be necessary for the owner/landlord and the duty manager to have access to the apartments to measure energy consumption, to set water pressure, to drain outside tubes during frost, to check and set technical sub stations, to limit damages.

28) Amendments

The owner/landlord reserves the right of minor changes to these house rules. Where these rules do not stipulate anything, the Swiss commercial code applies.

Küssnacht am Rigi, Summer 2020